

PLAN NOTES

2x6 STUD WALLS HATCHED FOR CLARITY:
ALL OTHERS 2x4 UNLESS NOTED OTHERWISE
ALL DIMENSIONS FROM EDGE OF CONCRETE OR FRAMING
OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS
WITH MANUFACTURER REQUIREMENTS
WINDOWS ARE SHOWN ON PLAN BUT SIZED ON ELEV
IN WIDTH x HEIGHT FORMAT
RE: EXTERIOR ELEVATIONS FOR ADDL INFO
ALL EXTERIOR DOOR & WINDOW HEAD HEIGHTS ARE 8'-FT
0-IN AFF
UNLESS NOTED OTHERWISE ON EXTERIOR ELEVATIONS
INTERIOR DOORS ARE 8'-FT 0-IN TALL

WALL FRAMING NOTES

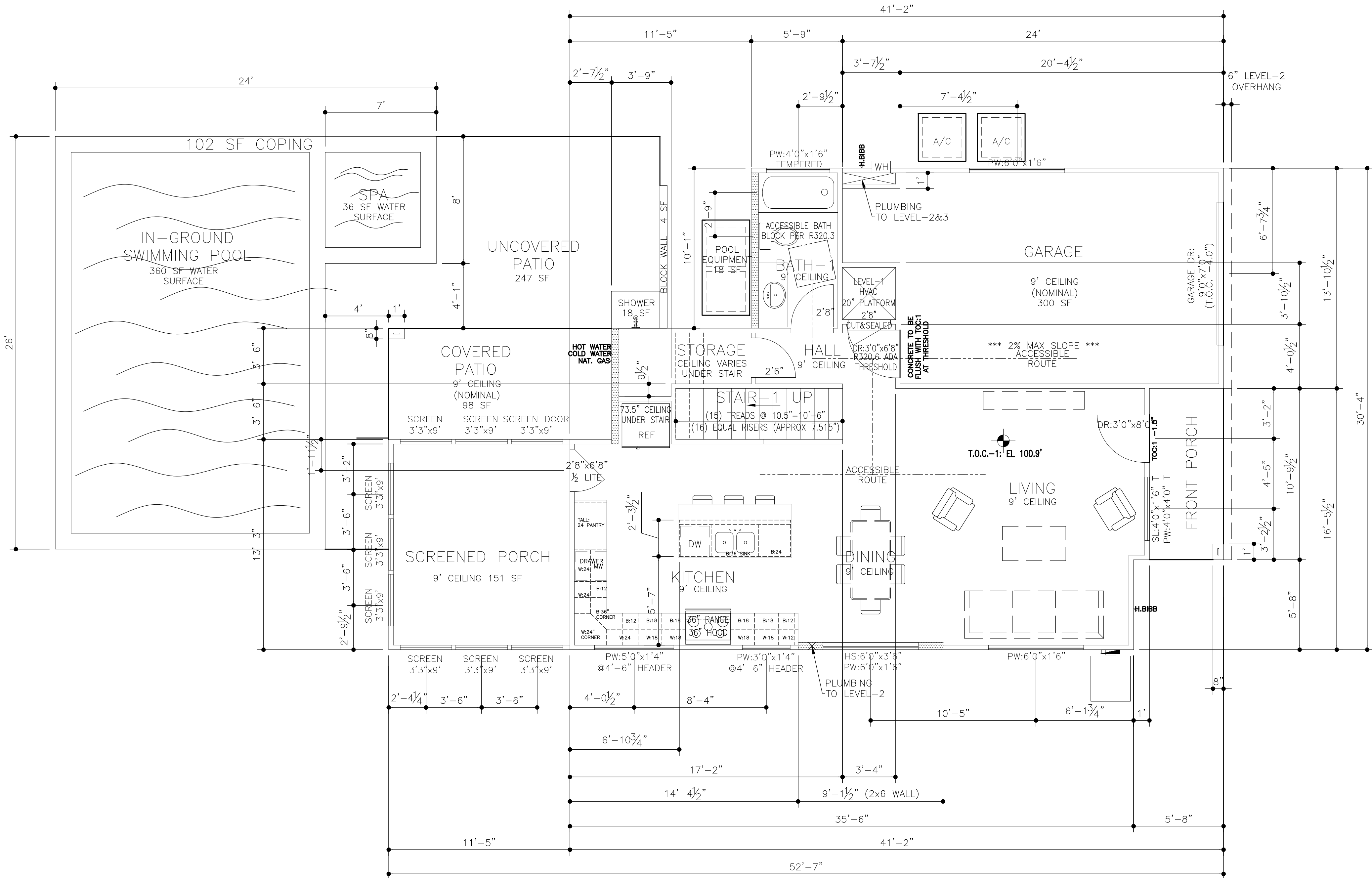
ALL EXTERIOR WALLS SHALL BE BLOCKED AT 48-IN O.C.:
COORDINATE WITH SHEATHING JOINTS & FULLY FASTEN
EDGES
PER RESIDENTIAL BLDG CODE TABLE R-602.1:
* MAX HEIGHT FOR WALLS SUPPORTING
A ROOF ONLY
12': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
20': 2x6 @ 12" O.C.
* MAX HEIGHT FOR WALLS SUPPORTING
ONE FLOOR & A ROOF
10': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
* VERIFY ABOVE INFO WITH MUNICIPAL CODE INSPECTOR
&-OR STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK

ROOF DECK/
LOW PITCH ROOFING NOTES

MEMBRANE ROOF SYSTEM WITH DECKING ABOVE SHALL BE
DESIGN-BUILD BY GENERAL CONTRACTOR / APPROPRIATE
SUBCONTRACTOR

ISSUES WITH WORKMANSHIP AND-OR SELECTED PRODUCTS
SHALL NOT BE CONSIDERED THE RESPONSIBILITY OF THE
ARCHITECT AND-OR HOUSE DESIGNER

ARCHITECT-RECOMMENDED SYSTEM SHALL FEATURE AN
SBS-MODIFIED BITUMEN MEMBRANE WITH "PARAPRO" CAP
SHEET AS MANUFACTURED BY SIPLAST, WITH REMAINDER OF
DECK SYSTEM BY OTHERS BUT COORDINATED WITH A
LICENSED SIPLAST RESPRESENTATIVE



1 Bldg 1 Level 01 Floor Plan
Scale 1/4" = 1'-0" @ 24x36

VISITABILITY NOTES

ADA THRESHOLD DETAIL
N.T.S
REFER TO CODE INTERPRETATION
C12013-0002 FOR ADDITIONAL
INFORMATION.

Exterior visible route shall have a running slope of no more than 1:12 unless handrails are provided, in which case running slope shall not exceed 1:8. Cross slope shall in no case exceed 1:50.

KEYED NOTES (NOT ALL NOTES MAY APPLY TO THIS PROJECT).

01 New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373.
REQUIRED: XX'-XX"
PROVIDED: XX'-XX"

02 Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".

03 Railing or partial-height wall at interior. Minimum height 36" above finish floor or nosing of stair. Maximum openness 3.5".

04 Ceiling break. Linen closet (cabinetry).
06 Pantry (cabinetry).
07 Access panel to open space above, minimum opening 30" x 48".

R1 New walkable-TPO roof deck.
R2 New metal coping.
R3 New metal scupper.
R4 New metal gutter.
R5 New metal downspout.

REFER TO SHEET A301 FOR SECTIONS INDICATED THUS:

REFER TO SHEETS A401 THROUGH A403 FOR INTERIOR ELEVATIONS INDICATED THUS:

NOTES ON FRAMING.

1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.

2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.

3. Lowest risers of all stairs to be reduced in height as needed to account for wood or tile flooring.

4. Roof eaves to be fire-blocked from top of wall to underside of the roof decking.

FRAMING AND MATERIALS LEGEND.

Standing-seam metal roof/wall

Composition-shingle roofing

2x4 wood framing

2x6 wood framing

2-hour rated firewall (per G003)

COMPLIANT WITH
UL ASSEMBLY U373

PROJECT INFORMATION

3414 Pennsylvania
Austin, TX 78721
MJC Group LLC
New Primary Residence
City of Austin

This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the BUILDING DESIGNER are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. This document is an instrument of service and is to be used solely for the purposes stipulated under separately executed contracts with the Building Designer. This document and all related files are Copyrighted and are not to be used, duplicated or otherwise modified except with express permission of East Side Mod Design.

SEAL OF BUILDING DESIGNER

Luis Alvarado
CERTIFICATION NO. 44-790
7/11

Luis Alvarado
05/24/2022

rob@eastsidemod.com
512-947-7754

DATE **21 May 2022**

SHEET TYPE **Floor Plans.**

A1.0a

PLAN NOTES

2x6 STUD WALLS HATCHED FOR CLARITY.
ALL OTHERS 2x4 UNLESS NOTED OTHERWISE.
ALL DIMENSIONS FROM EDGE OF CONCRETE OR FRAMING
OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS
WITH MANUFACTURER REQUIREMENTS
WINDOWS ARE SHOWN ON PLAN BUT SIZED ON ELEV
IN WIDTH x HEIGHT FORMAT
RE: EXTERIOR ELEVATIONS FOR ADDL INFO
ALL EXTERIOR DOOR & WINDOW HEAD HEIGHTS ARE 8-FT
0-IN AFF
UNLESS NOTED OTHERWISE ON EXTERIOR ELEVATIONS
INTERIOR DOORS ARE 8-FT 0-IN TALL

WALL FRAMING NOTES

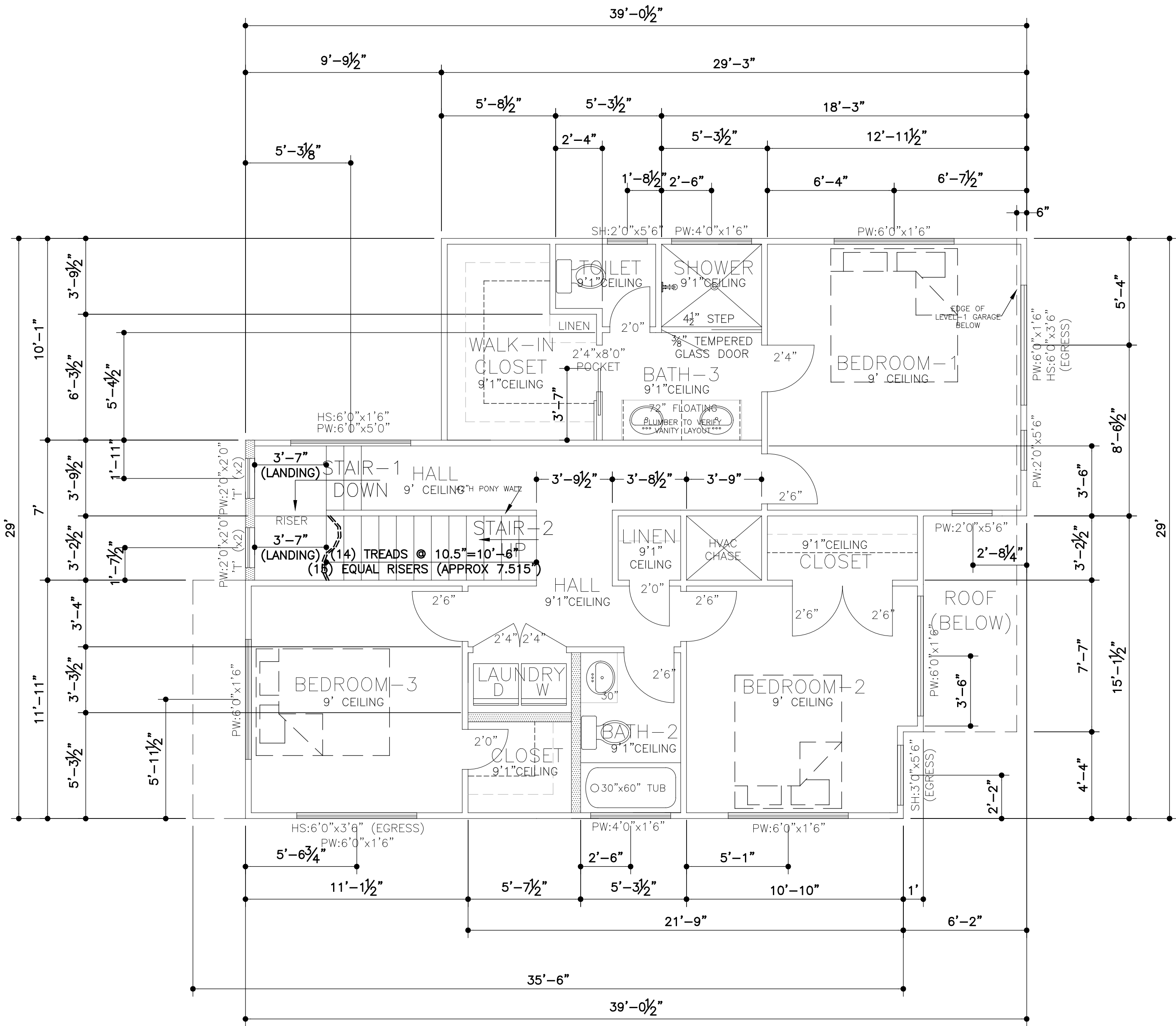
ALL EXTERIOR WALLS SHALL BE BLOCKED AT 48-IN O.C.;
COORDINATE WITH SHEATHING JOINTS & FULLY FASTEN
EDGES
PER RESIDENTIAL BLDG CODE TABLE R-602.1:
* MAX HEIGHT FOR WALLS SUPPORTING
A ROOF ONLY
12': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
20': 2x6 @ 12" O.C.
* MAX HEIGHT FOR WALLS SUPPORTING
ONE FLOOR & A ROOF
10': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
* VERIFY ABOVE INFO WITH MUNICIPAL CODE INSPECTOR
&-OR STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK

ROOF DECK/
LOW PITCH ROOFING NOTES

MEMBRANE ROOF SYSTEM WITH DECKING ABOVE SHALL BE
DESIGN-BUILD BY GENERAL CONTRACTOR / APPROPRIATE
SUBCONTRACTOR

ISSUES WITH WORKMANSHIP AND-OR SELECTED PRODUCTS
SHALL NOT BE CONSIDERED THE RESPONSIBILITY OF THE
ARCHITECT AND-OR HOUSE DESIGNER

ARCHITECT-RECOMMENDED SYSTEM SHALL FEATURE AN
SBS-MODIFIED BITUMEN MEMBRANE WITH "PARAPRO" CAP
SHEET AS MANUFACTURED BY SIPLAST, WITH REMAINDER OF
DECK SYSTEM BY OTHERS BUT COORDINATED WITH A
LICENSED SIPLAST RESPRESENTATIVE



1 Bldg 1 Level 02 Floor Plan

Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY APPLY TO THIS PROJECT).			NOTES ON FRAMING.	FRAMING AND MATERIALS LEGEND.	PROJECT INFORMATION	SEAL OF BUILDING DESIGNER	 EAST SIDE MOD DESIGN rob@eastsidemod.com 512-947-7754 DATE21 May 2022 SHEET TYPEFloor Plans. A1.0b
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. REQUIRED: XX'-XX" PROVIDED: XX'-XX"	04 Ceiling break. 05 Linen closet (cabinetry). 06 Pantry (cabinetry). 07 Access panel to open space above, minimum opening 30" x 48".	1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. 2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. 3. Lowest risers of all stairs to be reduced in height as needed to account for wood or tile flooring. 4. Roof eaves to be fire-blocked from top of wall to underside of the roof decking.	Standing-seam metal roof/wall Composition-shingle roofing 2x4 wood framing 2x6 wood framing 2-hour rated firewall (per G003) COMPLIANT WITH UL ASSEMBLY U373	3414 Pennsylvania Austin, TX 78721 MJC Group LLC New Primary Residence City of Austin This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the BUILDING DESIGNER are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. This document is an instrument of service and is to be used solely for the purposes stipulated under separately executed contracts with the Building Designer. This document and all related files are Copyrighted and are not to be used, duplicated or otherwise modified except with express permission of East Side Mod Design.	 Luis Alvaroz CERTIFICATION NO. 44-790 7TM Luis Alvaroz 05/24/2022	

PLAN NOTES

2x6 STUD WALLS HATCHED FOR CLARITY.
ALL OTHERS 2x4 UNLESS NOTED OTHERWISE.
ALL DIMENSIONS FROM EDGE OF CONCRETE OR FRAMING
OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS
WITH MANUFACTURER REQUIREMENTS
WINDOWS ARE SHOWN ON PLAN BUT SIZED ON ELEVS
IN WIDTH x HEIGHT FORMAT
RE: EXTERIOR ELEVATIONS FOR ADDL INFO
ALL EXTERIOR DOOR & WINDOW HEAD HEIGHTS ARE 8-FT
0-IN AFF
UNLESS NOTED OTHERWISE ON EXTERIOR ELEVATIONS
INTERIOR DOORS ARE 8-FT 0-IN TALL

WALL FRAMING NOTES

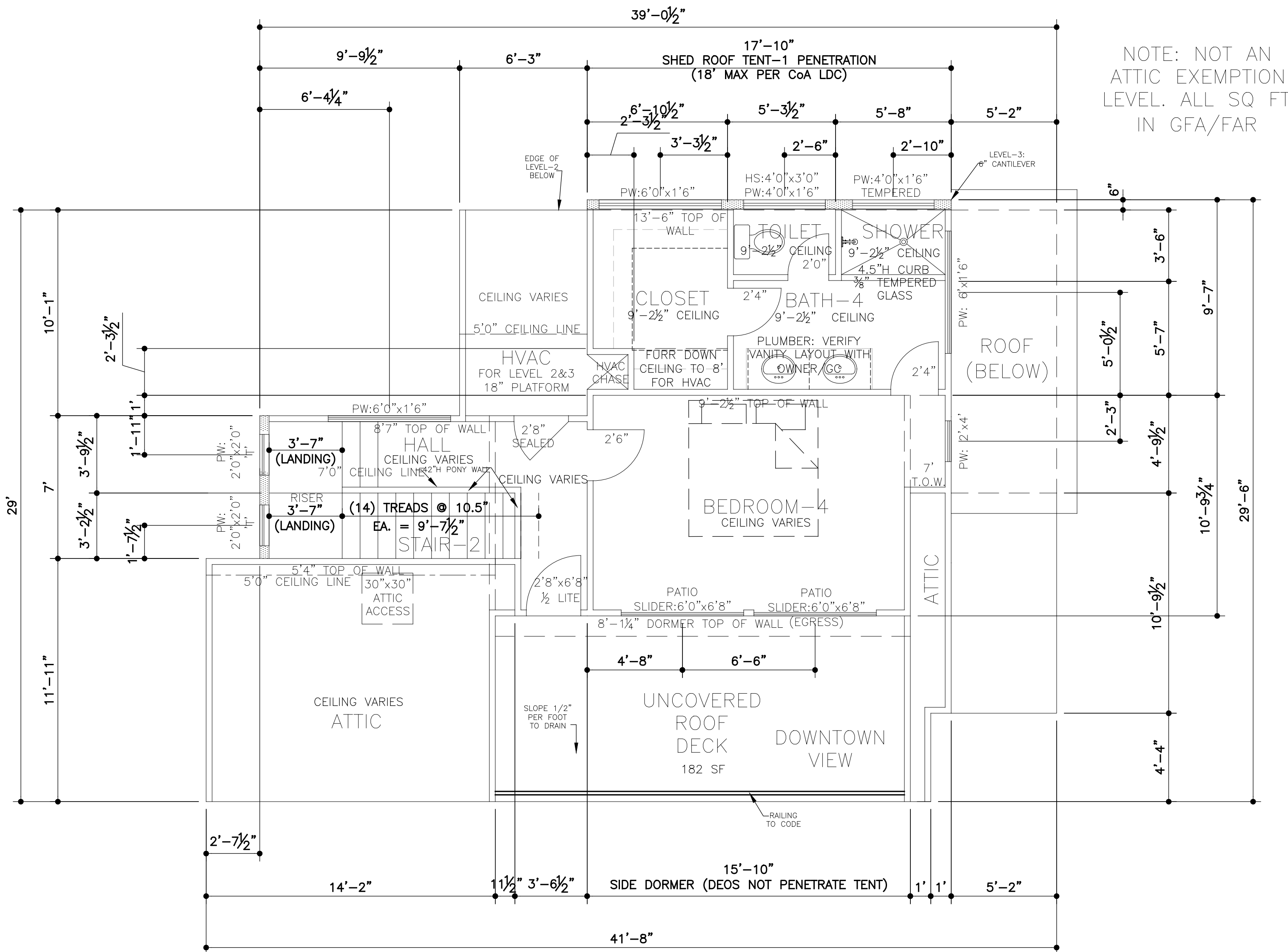
ALL EXTERIOR WALLS SHALL BE BLOCKED AT 48-IN O.C.:
COORDINATE WITH SHEATHING JOINTS & FULLY FASTEN
EDGES
PER RESIDENTIAL BLDG CODE TABLE R-602.1:
* MAX HEIGHT FOR WALLS SUPPORTING
A ROOF ONLY
12': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
20': 2x6 @ 12" O.C.
* MAX HEIGHT FOR WALLS SUPPORTING
ONE FLOOR & A ROOF
10': 2x4 @ 16" O.C.
18': 2x6 @ 16" O.C.
* VERIFY ABOVE INFO WITH MUNICIPAL CODE INSPECTOR
&-OR STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK

ROOF DECK/
LOW PITCH ROOFING NOTES

MEMBRANE ROOF SYSTEM WITH DECKING ABOVE SHALL BE
DESIGN-BUILD BY GENERAL CONTRACTOR / APPROPRIATE
SUBCONTRACTOR

ISSUES WITH WORKMANSHIP AND-OR SELECTED PRODUCTS
SHALL NOT BE CONSIDERED THE RESPONSIBILITY OF THE
ARCHITECT AND-OR HOUSE DESIGNER

ARCHITECT-RECOMMENDED SYSTEM SHALL FEATURE AN
SBS-MODIFIED BITUMEN MEMBRANE WITH "PARAPRO" CAP
SHEET AS MANUFACTURED BY SIPLAST, WITH REMAINDER OF
DECK SYSTEM BY OTHERS BUT COORDINATED WITH A
LICENSED SIPLAST RESPRESENTATIVE



1 Bldg 1 Level 03 Floor Plan
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY APPLY TO THIS PROJECT).			NOTES ON FRAMING.	FRAMING AND MATERIALS LEGEND.	PROJECT INFORMATION	SEAL OF BUILDING DESIGNER	 EAST SIDE MOD DESIGN rob@eastsidemod.com 512-947-7754 DATE21 May 2022 SHEET TYPEFloor Plans. A1.0c
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. REQUIRED: XX'-XX" PROVIDED: XX'-XX"	04 Ceiling break. 05 Linen closet (cabinetry). 06 Pantry (cabinetry). 07 Access panel to open space above, minimum opening 30" x 48".	1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. 2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. 3. Lowest risers of all stairs to be reduced in height as needed to account for wood or tile flooring. 4. Roof eaves to be fire-blocked from top of wall to underside of the roof decking.	Standing-seam metal roof/wall Composition-shingle roofing 2x4 wood framing 2x6 wood framing 2-hour rated firewall (per G003) COMPLIANT WITH UL ASSEMBLY U373	3414 Pennsylvania Austin, TX 78721 MJC Group LLC New Primary Residence City of Austin This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the BUILDING DESIGNER are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. This document is an instrument of service and is to be used solely for the purposes stipulated under separately executed contracts with the Building Designer. This document and all related files are Copyrighted and are not to be used, duplicated or otherwise modified except with express permission of East Side Mod Design.	 NATIONAL COUNCIL OF BUILDING DESIGNERS Luis Alvarez CERTIFICATION NO. 44-790 TM Luis Alvarez 05/24/2022	